



South  
Cambridgeshire  
District Council

Application for Planning Permission and listed building consent for alterations,  
extension or demolition of a listed building.

Town and Country Planning Act 1990

Planning (Listed Buildings and Conservation Areas) Act 1990

You can complete and submit this form electronically via the Planning Portal by visiting [www.planningportal.gov.uk/apply](http://www.planningportal.gov.uk/apply)

### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

### 1. Applicant Name and Address CARE OF ...

Title:	MR	First name:	MATTHEW
Last name:	SAUNDERS		
Company (optional):	FRIENDS OF FRIENDLESS CHURCHES		
Unit:	-	House number:	-
House name:	ST ANN'S VESTRY HALL		
Address 1:	2 CHURCH ENTRY		
Address 2:			
Address 3:			
Town:			
County:	LONDON		
Country:	ENGLAND		
Postcode:	EC4V 5HB		

### 2. Agent Name and Address CARE OF ...

Title:	MR	First name:	COLIN
Last name:	STAFF		
Company (optional):	PURCELL		
Unit:	-	House number:	-
House name:	-		
Address 1:	1 QUAYSIDE		
Address 2:	BRIDGE STREET		
Address 3:			
Town:	CAMBRIDGE		
County:	CAMBRIDGESHIRE		
Country:	ENGLAND		
Postcode:	CB5 8AB		

### 3. Description of Proposed Works

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s):

REPLACEMENT WINDOWS TO NAVE, REPLACEMENT DOOR TO NORTH PORCH  
AND LOCALISED EXTERNAL REPAIRS ON A LIKE-FOR-LIKE BASIS.

Has the development or work(s) already started? ☐ Yes ☒ No

If Yes, please state the date when the development or work(s) were started (DD/MM/YYYY):  
(date must be pre-application submission)

NA.

Have the development or work(s) been completed? ☐ Yes ☒ No

If Yes, please state the date when the development or work(s) were completed (DD/MM/YYYY):  
(date must be pre-application submission)

NA.

#### 4. Site Address Details

Please provide the full postal address of the application site.

Unit:	—	House number:	—	House suffix:	—
House name:	—				
Address 1:	CHURCH OF ST DENIS				
Address 2:	EAST HATLEY				
Address 3:					
Town:	SANDY				
County:	CAMBRIDGESHIRE				
Postcode (optional):	SG19 3JA				
Description of location or a grid reference. (must be completed if postcode is not known):					
Easting:	—	Northings:	—		
Description:					
—					

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible: ☐

Officer name:

NA.

Reference:

NA.

Date (DD/MM/YYYY):

(must be pre-application submission)

Details of pre-application advice received?

NA.

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ No

Are there any new public roads to be provided within the site? ☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site? ☐ Yes ☒ No

Do the proposals require any diversions /extinguishments and/or creation of rights of way? ☐ Yes ☒ No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawings(s)

NA.

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? ☐ Yes ☒ No

If Yes, please provide details:

NA.

Have arrangements been made for the separate storage and collection of recyclable waste? ☐ Yes ☐ No

If Yes, please provide details:

NA.

#### 8. Authority Employee / Member

With respect to the Authority, I am: (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

Do any of these statements apply to you? ☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

NA.

### 9. Demolition

Does the proposal include the partial or total demolition of a listed building? ☐ Yes ☒ No

If Yes, which of the following does the proposal involve?

a) Total demolition of the listed building: ☐ Yes ☒ No

b) Demolition of a building within the curtilage of the listed building: ☐ Yes ☒ No

c) Demolition of a part of the listed building: ☐ Yes ☒ No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)

ii) What is the volume of the part to be demolished?(cubic metres)

iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

### 10. Listed Building Alterations

Do the proposed works include alterations to a listed building? ☒ Yes ☐ No

If Yes, do the proposed works include: (you must answer each of the questions)

a) Works to the interior of the building? ☒ Yes ☐ No

b) Works to the exterior of the building? ☒ Yes ☐ No

c) Works to any structure or object fixed to the property (or buildings within its curtilage) Internally or externally? ☒ Yes ☐ No

d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? ☒ Yes ☐ No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

- DRAWINGS AS EXISTING:

237162/100, 101, 102, 103, 104, 105, 106

- DRAWINGS AS PROPOSED:

237162/201, 202, 203

- SPECIFICATION DATED MARCH 2017

- HERITAGE IMPACT ASSESSMENT DATED MARCH 2017

### 11. Listed Building Grading

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

Grade I ☐

Ecclesiastical Grade I ☐

Grade II\* ☐

Ecclesiastical Grade II\* ☐

Grade II ☐

Ecclesiastical Grade II ☐

Don't know ☐

### 12. Immunity From Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

☐ Yes

☒ No

☐ Don't know

If Yes, please provide the result of the application:

NA

### 13. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars	0	0	0
Light goods vehicles/ public carrier vehicles	0	0	0
Motorcycles	0	0	0
Disability spaces	0	0	0
Cycle spaces	0	0	0
Other (e.g. Bus)	0	0	0
Other (e.g. Bus)	0	0	0



## 14. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
External walls	IRONSTONE WITH LIMESTONE DRESSINGS	NA	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	PLAIN TILES	PLAIN TILE TO MATCH EXISTING (LOCALISED REPLACEMENT ONLY)	<input type="checkbox"/>	<input type="checkbox"/>
Chimney			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Windows	SECURITY BOARDING WITHIN EXISTING LIMESTONE SURROUNDS	LEADED LIGHTS WITHIN EXISTING LIMESTONE SURROUNDS	<input type="checkbox"/>	<input type="checkbox"/>
External doors	OAK TO SOUTH PORCH WITH SECURITY BOARDING TO NORTH PORCH.	NEW OAK DOOR TO NORTH PORCH	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Internal walls	LIME PLASTER	LIME PLASTER	<input type="checkbox"/>	<input type="checkbox"/>
Floors	SOFTWOOD FLOOR BOARDING (WHERE EXISTING)	SOFTWOOD FLOOR BOARDING	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rainwater goods			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?

☒ Yes

☐ No

If Yes, please state plan(s)/drawing(s) references:

AS LISTED WITHIN 10.



### 15. Foul Sewage **NA.**

Please state how foul sewage is to be disposed of:

- |  |                                   |
|--|-----------------------------------|
| <input type="checkbox"/> Mains sewer             | <input type="checkbox"/> Cess pit |
| <input type="checkbox"/> Septic tank             | <input type="checkbox"/> Other    |
| <input type="checkbox"/> Package treatment plant |                                   |

Are you proposing to connect to the existing drainage system? ☐ Yes ☐ No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

### 16. Assessment of Flood Risk **NA.**

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☐ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? ☐ Yes ☐ No

Will the proposal increase the flood risk elsewhere? ☐ Yes ☐ No

How will surface water be disposed of?

- |  |   |
|--|---|
| <input type="checkbox"/> Sustainable drainage system | <input type="checkbox"/> Existing watercourse |
| <input type="checkbox"/> Soakaway                    | <input type="checkbox"/> Pond/lake            |
| <input type="checkbox"/> Main sewer                  |   |

### 17. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- ☒ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☐ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

### 18. Existing Use

Please describe the current use of the site:

**DISUSED & CLOSED CHURCH**

Is the site currently vacant? ☒ Yes ☐ No

If Yes, please describe the last use of the site:

**WORSHIP**

When did this use end (if known)?  
(DD/MM/YYYY)

**1959**

(date where known may be approximate)

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated? ☐ Yes ☒ No

Land where contamination is suspected for all or part of the site? ☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination? ☐ Yes ☒ No

### 19. Trees and Hedges

Are there trees or hedges on the proposed development site? ☒ Yes ☐ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? ☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

### 20. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? ☐ Yes ☒ No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

**NA.**

**21. Residential Units (Including Conversion)**

Does your proposal include the gain, loss or change of use of residential units?  
If Yes, please complete details of the changes in the tables below:

☐ Yes

☒ No
**Proposed Housing**

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							A

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							B

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							C

Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							D

**Total proposed residential units** (A + B + C + D) =

**Existing Housing**

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							E

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							F

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							G

Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						a
Flats and maisonettes	<input type="checkbox"/>						b
Live-work units	<input type="checkbox"/>						c
Cluster flats	<input type="checkbox"/>						d
Sheltered housing	<input type="checkbox"/>						e
Bedsit/studios	<input type="checkbox"/>						f
Unknown type	<input type="checkbox"/>						g
<b>Totals</b> (a + b + c + d + e + f + g) =							H

**Total existing residential units** (E + F + G + H) =

**TOTAL NET GAIN or LOSS of RESIDENTIAL UNITS (Proposed Housing Grand Total - Existing Housing Grand Total):**

## 22. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes

☒ No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use		Not applicable	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1	Shops	<input type="checkbox"/>				
	Net tradable area:	<input type="checkbox"/>				
A2	Financial and professional services	<input type="checkbox"/>				
A3	Restaurants and cafes	<input type="checkbox"/>				
A4	Drinking establishments	<input type="checkbox"/>				
A5	Hot food takeaways	<input type="checkbox"/>				
B1 (a)	Office (other than A2)	<input type="checkbox"/>				
B1 (b)	Research and development	<input type="checkbox"/>				
B1 (c)	Light industrial	<input type="checkbox"/>				
B2	General industrial	<input type="checkbox"/>				
B8	Storage or distribution	<input type="checkbox"/>				
C1	Hotels and halls of residence	<input type="checkbox"/>				
C2	Residential institutions	<input type="checkbox"/>				
D1	Non-residential institutions	<input type="checkbox"/>				
D2	Assembly and leisure	<input type="checkbox"/>				
OTHER		<input type="checkbox"/>				
Please specify		<input type="checkbox"/>				
Total						

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential Institutions	<input type="checkbox"/>			
OTHER		<input type="checkbox"/>			
Please specify		<input type="checkbox"/>			

## 23. Employment

Please complete the following information regarding employees:

	Full-time	Part-time	Total full-time equivalent
Existing employees	0	0	0
Proposed employees	0	0	0

## 24. Hours of Opening

If known, please state the hours of opening (e.g. 15:30) for each non-residential use proposed:

CURRENTLY CLOSED

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known

## 25. Site Area

Please state the site area in hectares (ha)

0.025 (250 m<sup>2</sup>)



## 26. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

NA.

Is the proposal a waste management development? ☐ Yes ☒ No

If the answer is Yes, please complete the following table:

	Not applicable	The total capacity of the void in cubic metres, including engineering surcharge and making no allowance for cover or restoration material (or tonnes if solid waste or litres if liquid waste)	Maximum annual operational throughput in tonnes (or litres if liquid waste)
Inert landfill	<input type="checkbox"/>		
Non-hazardous landfill	<input type="checkbox"/>		
Hazardous landfill	<input type="checkbox"/>		
Energy from waste incineration	<input type="checkbox"/>		
Other incineration	<input type="checkbox"/>		
Landfill gas generation plant	<input type="checkbox"/>		
Pyrolysis/gasification	<input type="checkbox"/>		
Metal recycling site	<input type="checkbox"/>		
Transfer stations	<input type="checkbox"/>		
Material recovery/recycling facilities (MRFs)	<input type="checkbox"/>		
Household civic amenity sites	<input type="checkbox"/>		
Open windrow composting	<input type="checkbox"/>		
In-vessel composting	<input type="checkbox"/>		
Anaerobic digestion	<input type="checkbox"/>		
Any combined mechanical, biological and/or thermal treatment (MBT)	<input type="checkbox"/>		
Sewage treatment works	<input type="checkbox"/>		
Other treatment	<input type="checkbox"/>		
Recycling facilities construction, demolition and excavation waste	<input type="checkbox"/>		
Storage of waste	<input type="checkbox"/>		
Other waste management	<input type="checkbox"/>		
Other developments	<input type="checkbox"/>		

Please provide the maximum annual operational throughput of the following waste streams:

Municipal	
Construction, demolition and excavation	
Commercial and industrial	
Hazardous	

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

## 27. Hazardous Substances

Does the proposal involve the use or storage of any of the following materials in the quantities stated below? ☐ Yes ☐ No ☒ Not applicable

If Yes, please provide the amount of each substance that is involved:

Acrylonitrile (tonnes)	<input type="text"/>	Ethylene oxide (tonnes)	<input type="text"/>	Phosgene (tonnes)	<input type="text"/>
Ammonia (tonnes)	<input type="text"/>	Hydrogen cyanide (tonnes)	<input type="text"/>	Sulphur dioxide (tonnes)	<input type="text"/>
Bromine (tonnes)	<input type="text"/>	Liquid oxygen (tonnes)	<input type="text"/>	Flour (tonnes)	<input type="text"/>
Chlorine (tonnes)	<input type="text"/>	Liquid petroleum gas (tonnes)	<input type="text"/>	Refined white sugar (tonnes)	<input type="text"/>

Other:

Other:

Amount (tonnes):

Amount (tonnes):

## 28. Ownership Certificates and Agricultural Land Declaration (continued)

### CERTIFICATE OF OWNERSHIP - CERTIFICATE C

**Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners\* and/or agricultural tenants\*\* of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

The steps taken were:

Name of Owner / Agricultural Tenant	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

### CERTIFICATE OF OWNERSHIP - CERTIFICATE D

**Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

The steps taken were:

--

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):



## 28. Ownership Certificates and Agricultural Land Declaration

One certificate A, B, C, or D must be completed with this application form

### CERTIFICATE OF OWNERSHIP - CERTIFICATE A

**Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

Signed - Applicant:

—

Date (DD/MM/YYYY):

ON BEHALF OF PURCELL  
AND APPLICANT

05/04/2017

### CERTIFICATE OF OWNERSHIP - CERTIFICATE B

**Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Name of Owner / Agricultural Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):



## 29. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority (LPA) has been submitted.

The original ~~and 3 copies\*~~ of a completed and dated application form:



The correct fee:



The original ~~and 3 copies\*~~ of the plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



The original ~~and 3 copies\*~~ of a design and access statement, if required (see help text and guidance notes for details):



The original ~~and 3 copies\*~~ of other plans and drawings or information necessary to describe the subject of the application:



**TITLED - HERITAGE IMPACT ASSESSMENT**  
The original ~~and 3 copies\*~~ of the completed, dated Ownership Certificate (A, B, C or D - as applicable) and Article 14 Certificate (Agricultural Holdings):



\*National legislation specifies that the applicant must provide the original plus three copies of the form and supporting documents (a total of four copies), unless the application is submitted electronically or, the LPA indicate that a smaller number of copies is required. LPAs may also accept supporting documents in electronic format by post (for example, on a CD, DVD or USB memory stick). You can check your LPA's website for information or contact their planning department to discuss these options.

## 30. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Signed - Applicant:

—

Date (DD/MM/YYYY):

ON BEHALF OF PURCELL AND APPLICANT)

05/04/2017

(date cannot be pre-application)

## 31. Applicant Contact Details

Telephone numbers

Country code:

—

Extension number:

—

Country code:

—

Country code:

—

Fax number (optional):

—

Email address (optional):

—

## 32. Agent Contact Details

Telephone numbers

Co

—

Co

—

Co

—

En

—

Extension number:

—

## 33. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes

☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ Agent

☒ Applicant

☐ Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

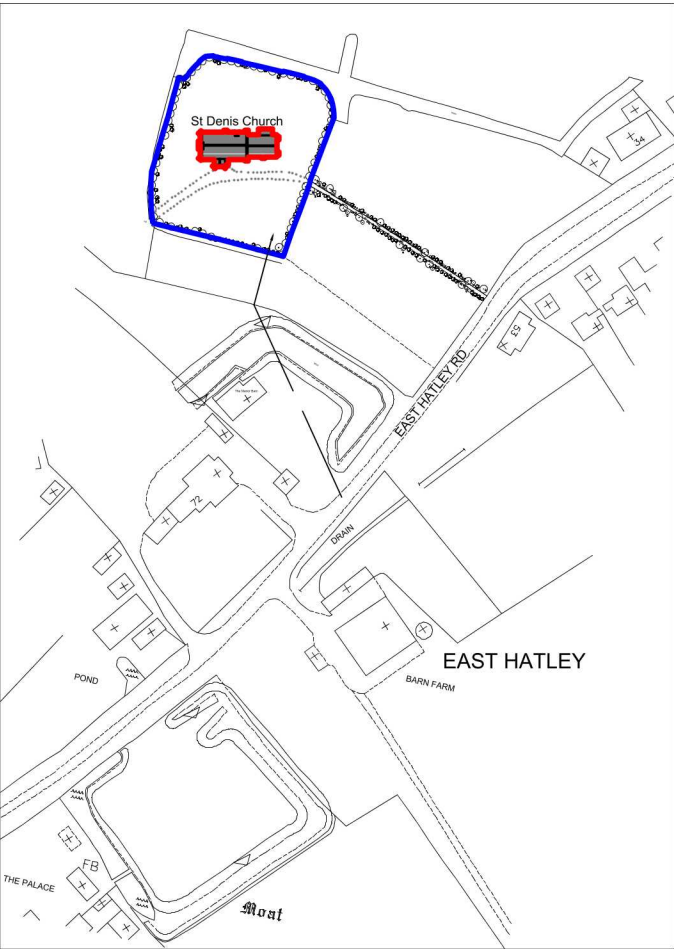
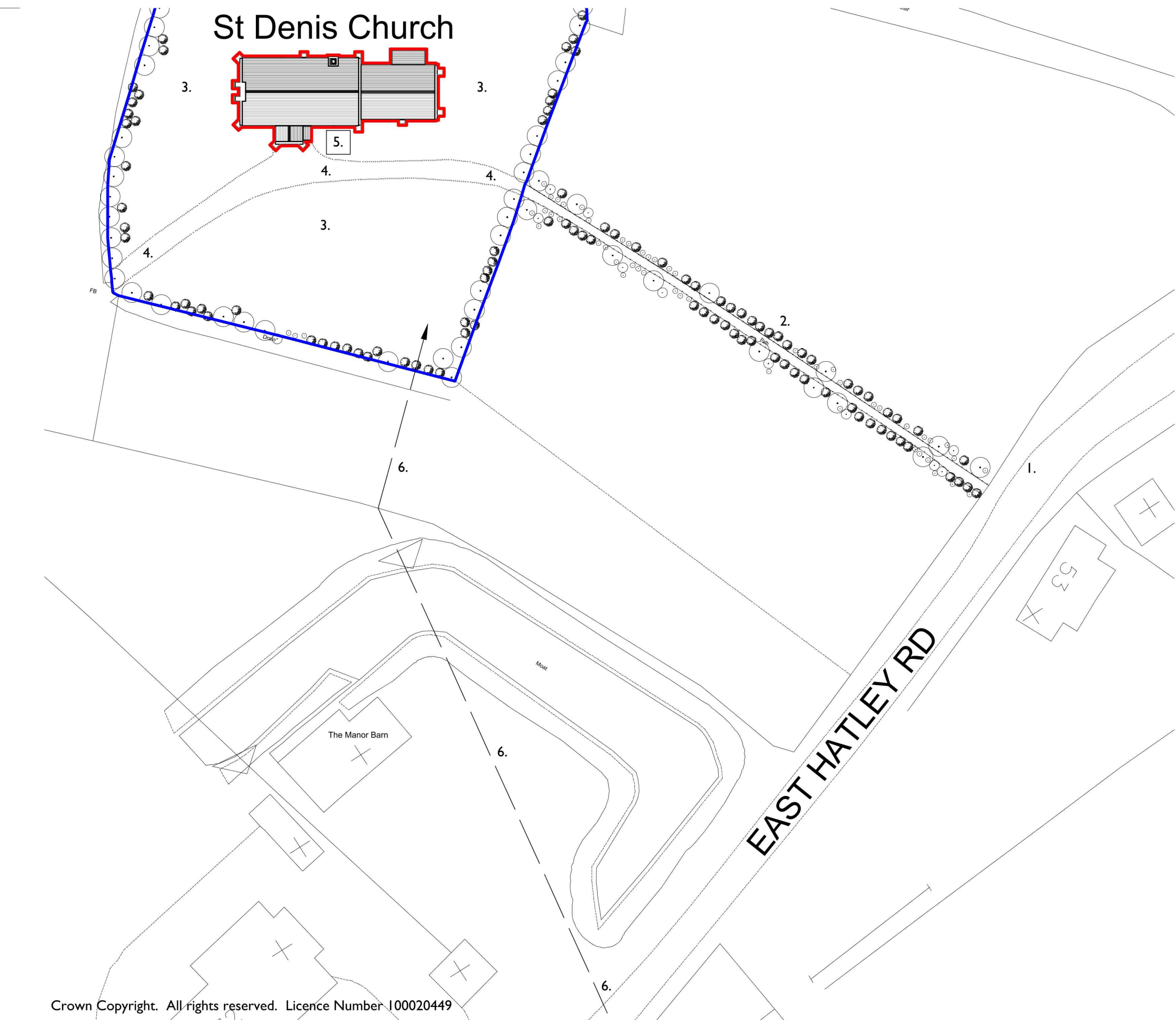
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Telephone number:

—

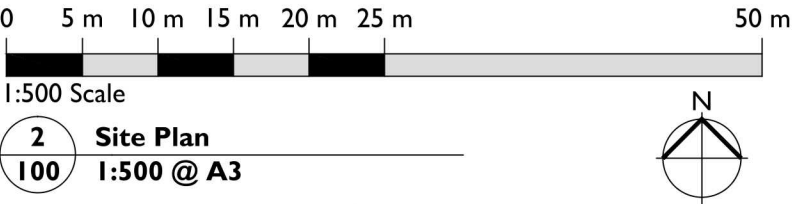
Email address:

—



**1** **Site Location Plan**  
**100** **1:2500 @ A3**  
0 20m 40m 100m  
1:2500 Scale

- LEGEND:
- 1. Contractors parking and location of skip (if necessary) restricted to highway; keep residents driveways clear at all times.
  - 2. Public footpath: Main contractors access route to site which is to be kept clear at all times. Contractor to provide temporary protections (removed at the end of each day) as necessary to keep footpath in same condition as at the commencement of the works.
  - 3. Churchyard generally grassed with burrials/headstones; those within 5m of the site are to be protected.
  - 4. Notional public right of way/footpath through churchyard which is to be kept clear at all times.
  - 5. Contractors external compound (if required); exact location to be agreed on site with client/architect.
  - 6. Contractors alternative access via neighbours property for chemical WC, delivery of materials and the like; refer to preliminaries A12/200 for further details/requirements. Contractor to arrange access to assess arrangements.



**2** **Site Plan**  
**100** **1:500 @ A3**

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<div>Notes:</div> <div>Drawings are based on survey data and may not accurately represent what is physically present.</div> <div>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</div> <div>All dimensions are in millimeters unless noted otherwise.</div> <div>Purcell shall be notified in writing of any discrepancies.</div>	<div>Notes:</div> <div>Drawing to be read in conjunction with the project specification.</div> <div>Drawing supplied for information only; contractor to check content</div>						<div>CLIENT</div> <div>Friends of Friendless Churches</div> <div>PROJECT</div> <div>East Hatley St Denis Church Phase I</div>	<div>DRAWING TITLE</div> <div>Location &amp; Site Plan</div>		<div>JOB NUMBER</div> <div>237162</div> <div>DRAWING NO.</div> <div>100</div> <div>REVISION</div> <div>-</div>	<div></div>
		<div>First Issue</div> <div>05/04/17</div> <div>CS</div> <div>CS</div>						<div>SIZE &amp; SCALE</div> <div>1:2500, 1:500 @ A3L</div>			
		<div>ISSUE</div> <div>DATE</div> <div>DRAWN</div> <div>CHECKED</div> <div>DESCRIPTION</div>						<div>DRAWING STATUS</div> <div>ISSUED FOR PLANNING</div>			





2  
101 General Internal View of Nave  
Looking Towards the Chancel



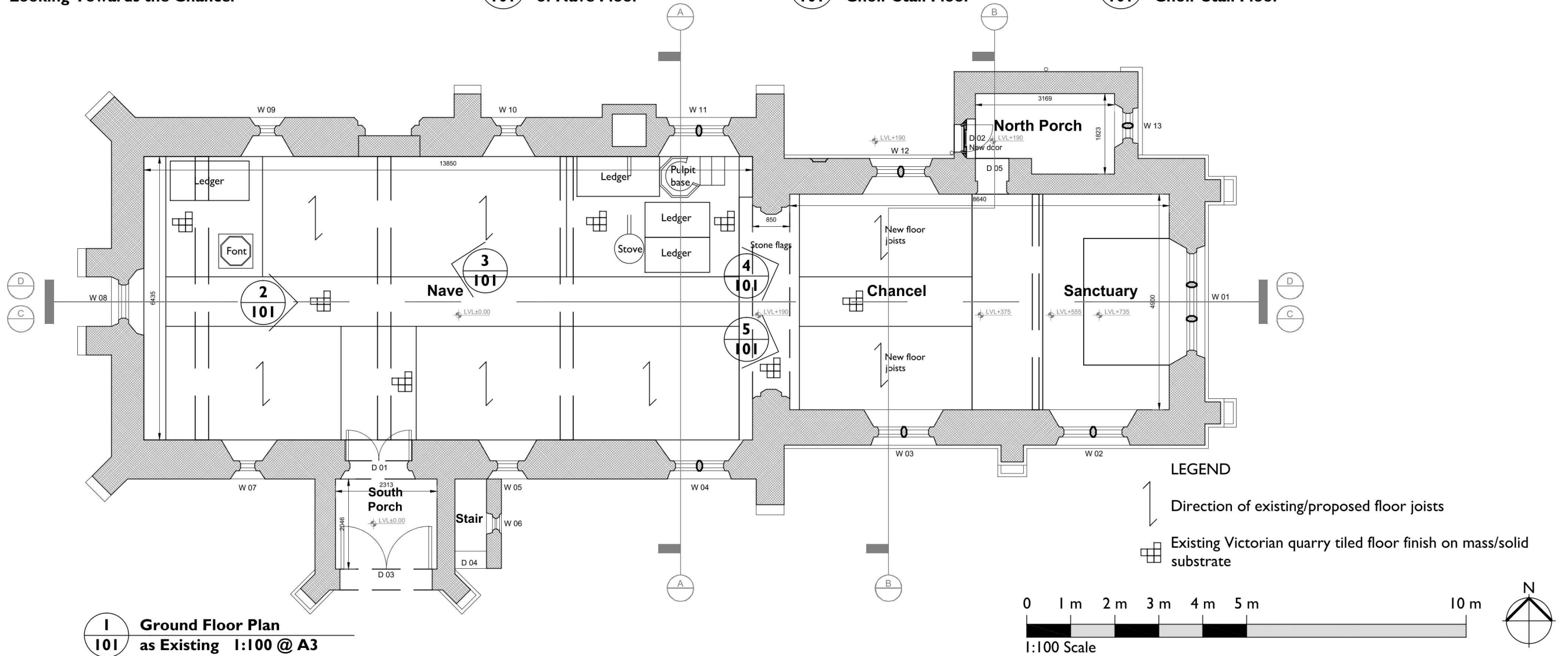
3  
101 General Arrangement  
of Nave Floor



4  
101 Chancel North  
Choir Stall Floor



5  
101 Chancel South  
Choir Stall Floor



**Notes:**

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

**Notes:**

Drawing to be read in conjunction with the project specification.

Drawing supplied for information only; contractor to check content

First Issue	05/04/17	CS	CS
ISSUE	DATE	DRAWN	CHECKED
			DESCRIPTION

**CLIENT** Friends of Friendless Churches

**PROJECT** East Hatley St Denis Church Phase I

**DRAWING TITLE** Ground Floor Plan  
As Existing

**SIZE & SCALE** A3L 1:100 @ A3

**DRAWING STATUS** ISSUED FOR PLANNING

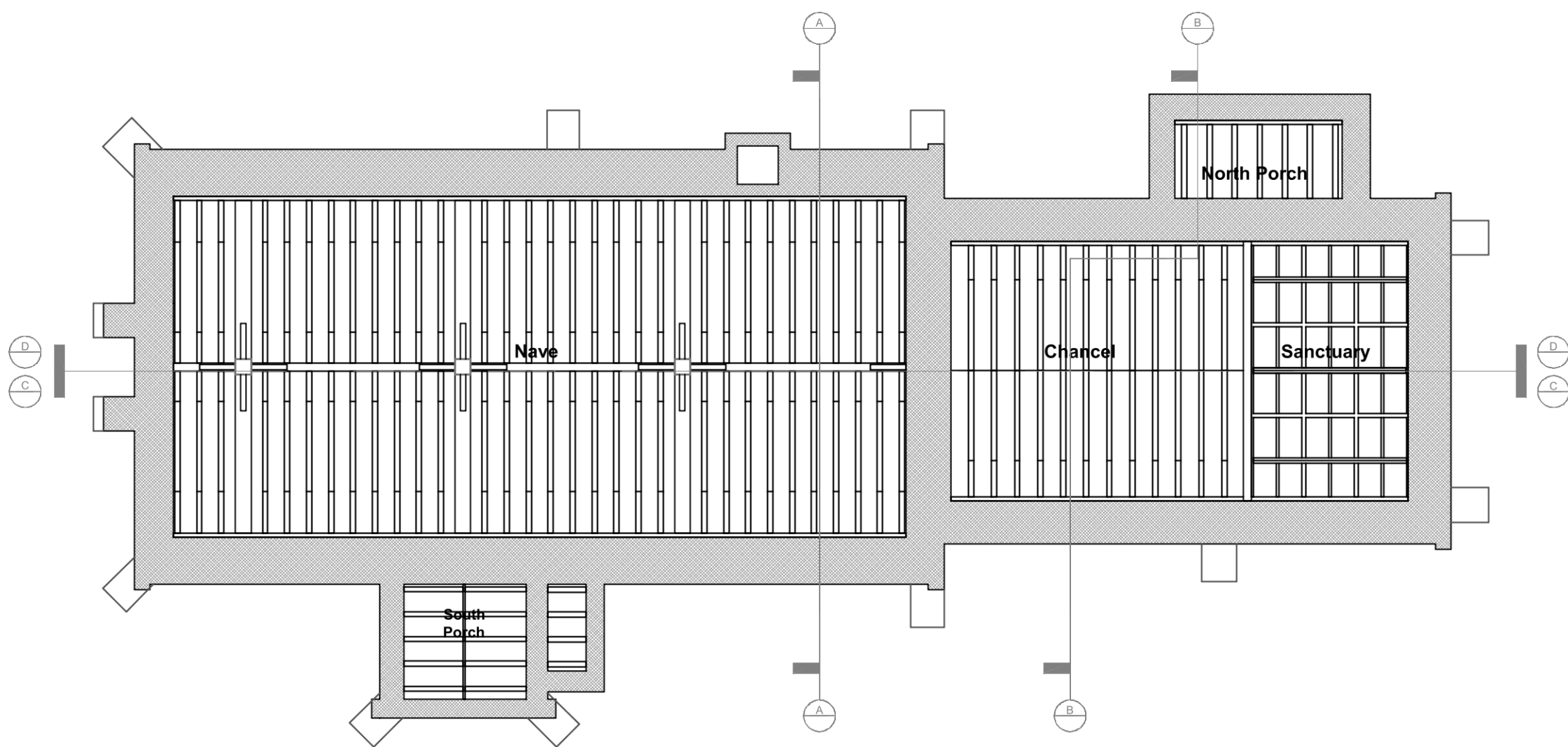
**JOB NUMBER** 237162

**DRAWING NO.** 101

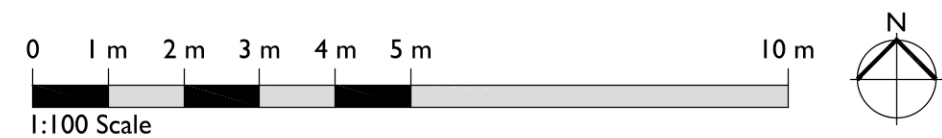
**REVISION** -








**I**  
**102** **Reflected Ceiling Plan**  
**as Existing 1:100 @ A3**



<div>Notes:</div> <div>Drawings are based on survey data and may not accurately represent what is physically present.</div> <div>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</div> <div>All dimensions are in millimeters unless noted otherwise.</div> <div>Purcell shall be notified in writing of any discrepancies.</div>	<div>Notes:</div> <div>Drawing to be read in conjunction with the project specification.</div> <div>Drawing supplied for information only; contractor to check content</div>						<div>CLIENT</div> <div>Friends of Friendless Churches</div>	<div>DRAWING TITLE</div> <div>Reflected Ceiling Plan As Existing</div>		<div>JOB NUMBER</div> <div>237162</div>	<div></div> <div>PURCELL</div>
							<div>PROJECT</div> <div>East Hatley St Denis Church Phase I</div>	<div>SIZE &amp; SCALE</div> <div>A3L 1:100 @ A3</div>		<div>DRAWING NO.</div> <div>102</div>	
							<div>ISSUE</div> <div>DATE</div> <div>DRAWN</div> <div>CHECKED</div> <div>DESCRIPTION</div>	<div>DRAWING STATUS</div> <div>ISSUED FOR PLANNING</div>		<div>REVISION</div> <div>-</div>	

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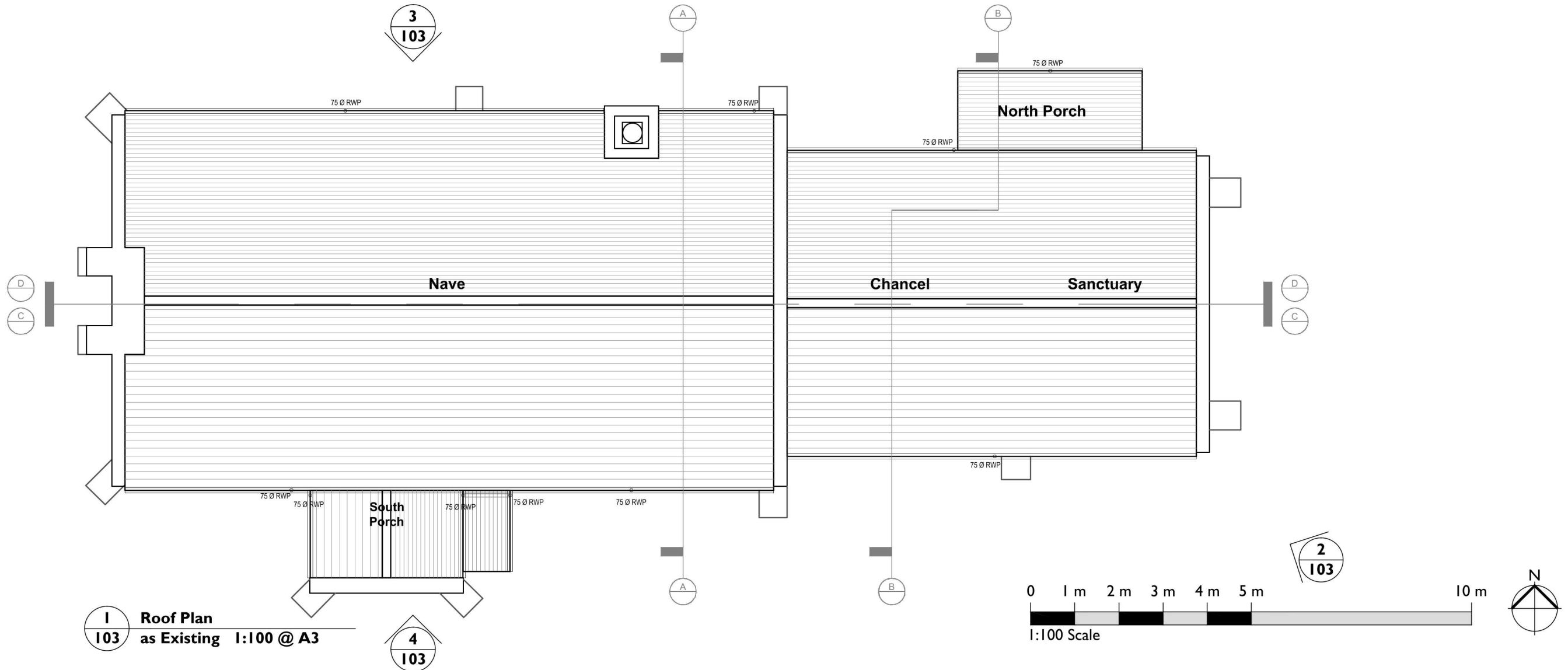
2  
103 South East Approach to the Church



3  
103 North Elevation of Nave



4  
103 South Elevation of Nave



1  
103 Roof Plan  
as Existing 1:100 @ A3

**Notes:**  
Drawings are based on survey data and may not accurately represent what is physically present.  
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.  
All dimensions are in millimeters unless noted otherwise.  
Purcell shall be notified in writing of any discrepancies.

**Notes:**  
Drawing to be read in conjunction with the project specification.  
Drawing supplied for information only; contractor to check content

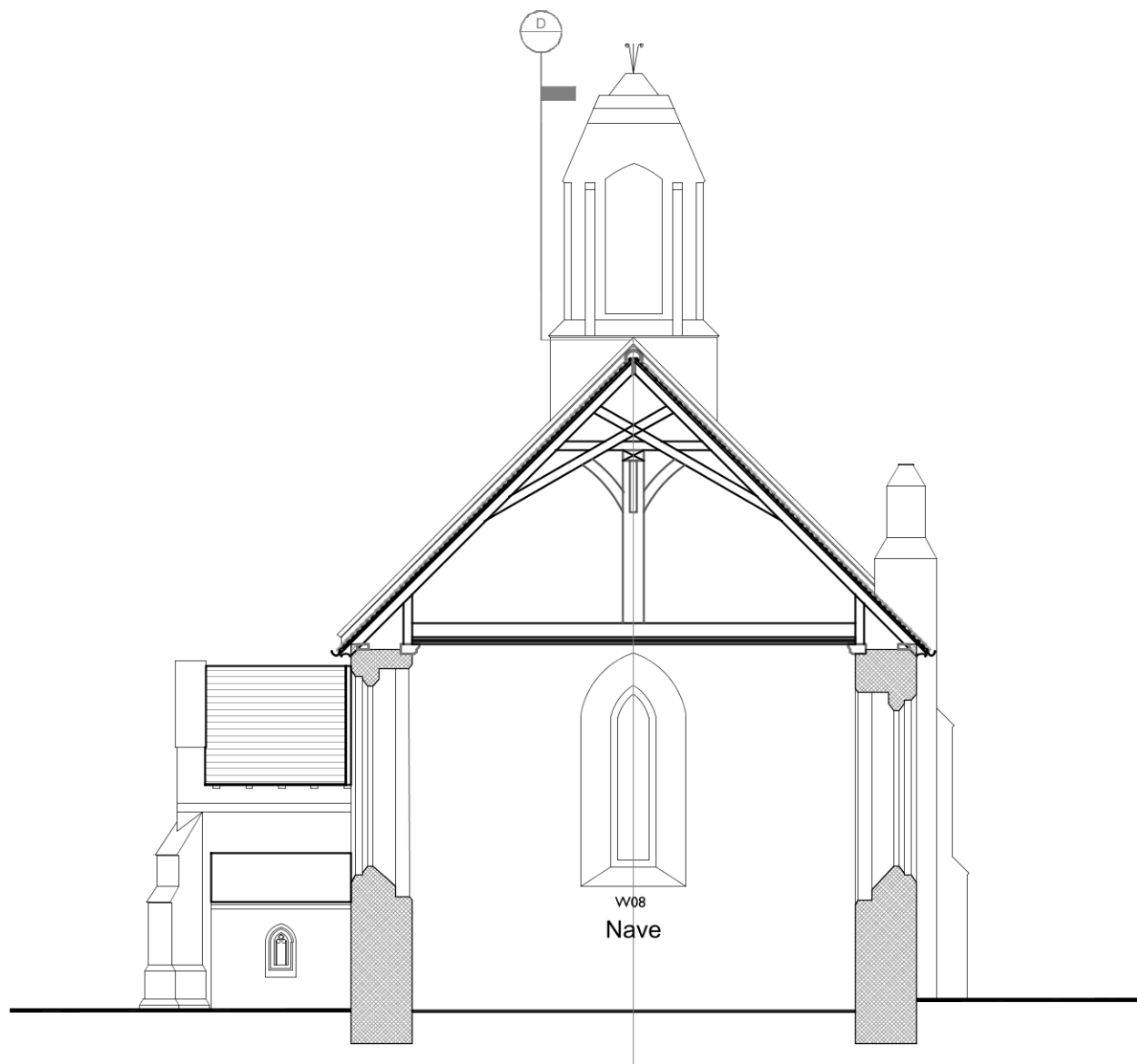
First Issue	05/04/17	CS	CS	
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION

**CLIENT** Friends of Friendless Churches  
**PROJECT** East Hatley St Denis Church Phase I

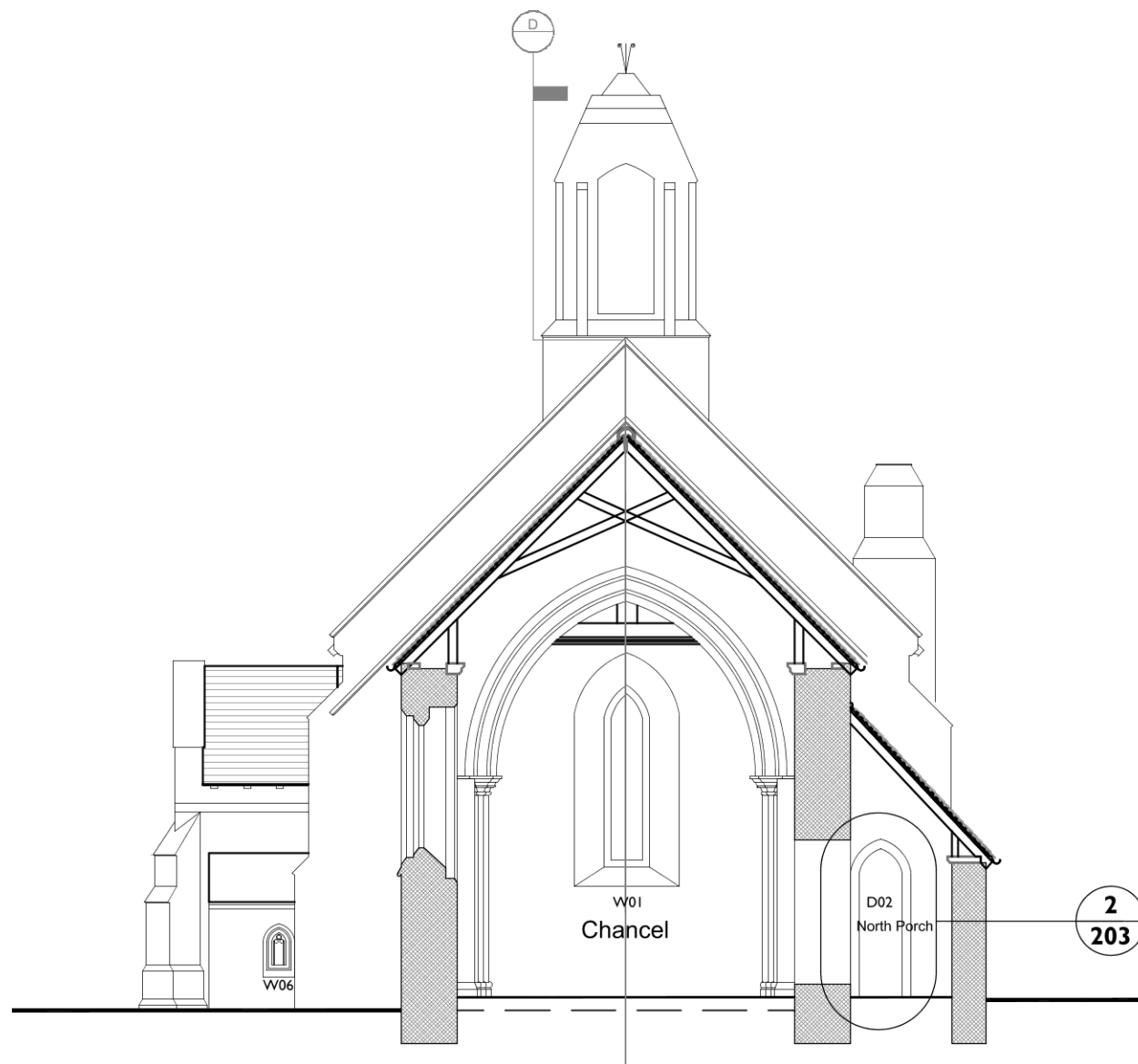
**DRAWING TITLE** Roof Plan  
As Existing  
**SIZE & SCALE** A3L 1:100 @ A3  
**DRAWING STATUS** ISSUED FOR PLANNING

**JOB NUMBER** 237162  
**DRAWING NO.** 103  
**REVISION** -



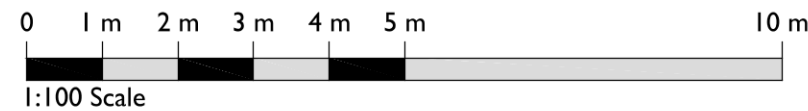


**1**  
**104** **Cross Section A-A**  
**as Existing 1:100 @ A3**



**2**  
**104** **Cross Section B-B**  
**as Existing 1:100 @ A3**

**2**  
**203** For proposed details of north porch external door



**Notes:**  
Drawings are based on survey data and may not accurately represent what is physically present.  
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.  
All dimensions are in millimeters unless noted otherwise.  
Purcell shall be notified in writing of any discrepancies.

**Notes:**  
Drawing to be read in conjunction with the project specification.  
Drawing supplied for information only; contractor to check content

First Issue	05/04/17	CS	CS	
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION

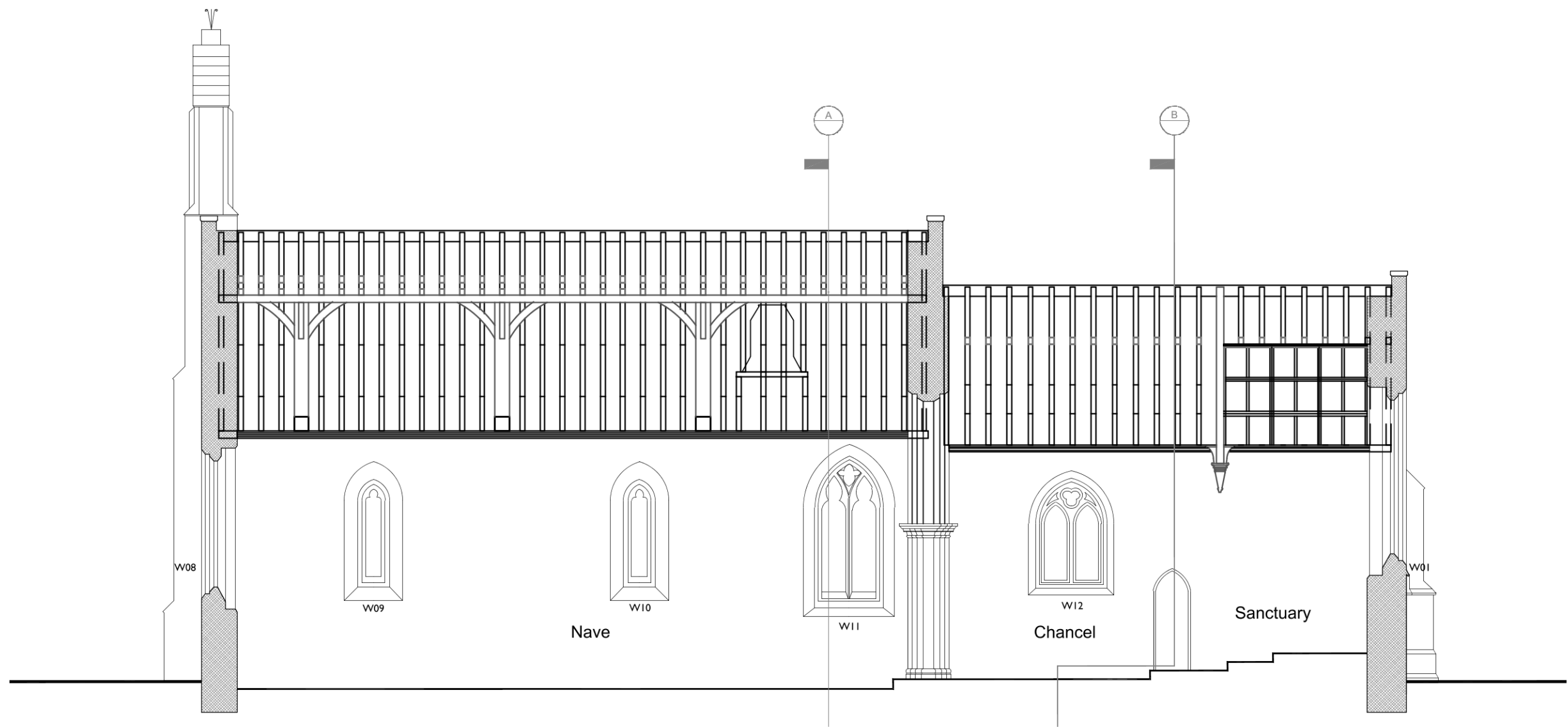
**CLIENT** Friends of Friendless Churches  
**PROJECT** East Hatley St Denis Church Phase I

**DRAWING TITLE** Cross Sections A & B  
As Existing  
**SIZE & SCALE** A3L 1:100 @ A3  
**DRAWING STATUS** ISSUED FOR PLANNING

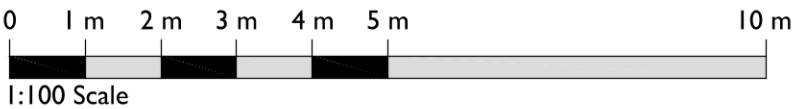
**JOB NUMBER** 237162  
**DRAWING NO.** 104  
**REVISION** -








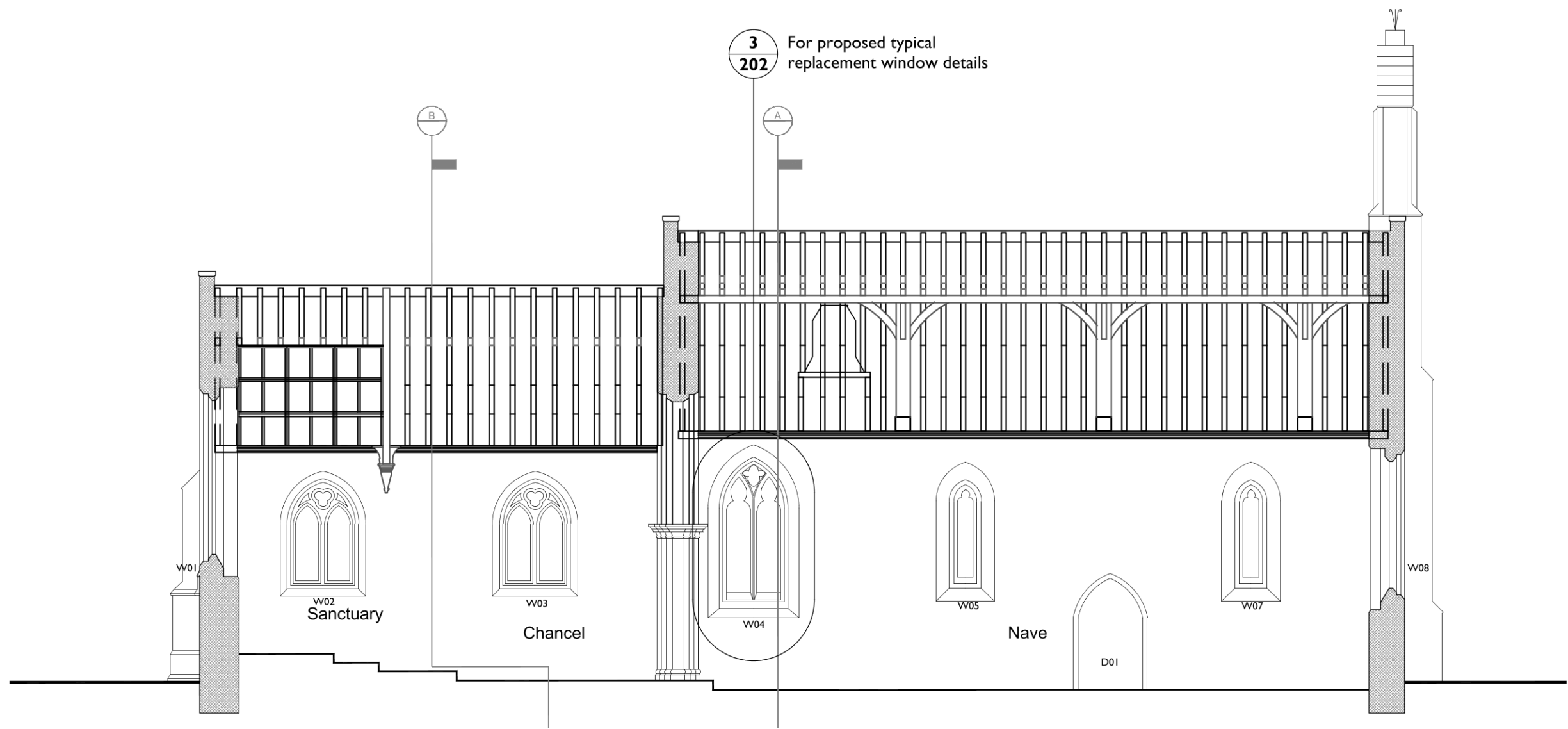
**I**  
**105** Longitudinal Section C-C  
as Existing 1:100 @ A3



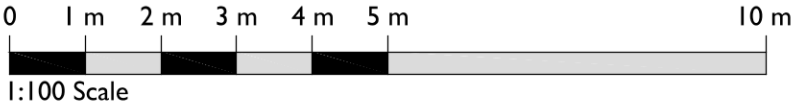
<div>Notes:</div> <div>Drawings are based on survey data and may not accurately represent what is physically present.</div> <div>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</div> <div>All dimensions are in millimeters unless noted otherwise.</div> <div>Purcell shall be notified in writing of any discrepancies.</div>	<div>Notes:</div> <div>Drawing to be read in conjunction with the project specification.</div> <div>Drawing supplied for information only; contractor to check content</div>	<div>First Issue05/04/17CSCS</div>					<div>CLIENT</div> <div>Friends of Friendless Churches</div> <div>PROJECT</div> <div>East Hatley St Denis Church Phase I</div>	<div>DRAWING TITLE</div> <div>Longitudinal Section C As Existing</div>		<div>JOB NUMBER</div> <div>237162</div>	<div></div>
		<div>ISSUE</div> <div>DATE</div> <div>DRAWN</div> <div>CHECKED</div> <div>DESCRIPTION</div>						<div>SIZE &amp; SCALE</div> <div>A3L 1:100 @ A3</div>		<div>DRAWING NO.</div> <div>105</div>	
								<div>DRAWING STATUS</div> <div>ISSUED FOR PLANNING</div>		<div>REVISION</div> <div>-</div>	


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**I**  
**106** Longitudinal Section D-D  
as Existing 1:100 @ A3

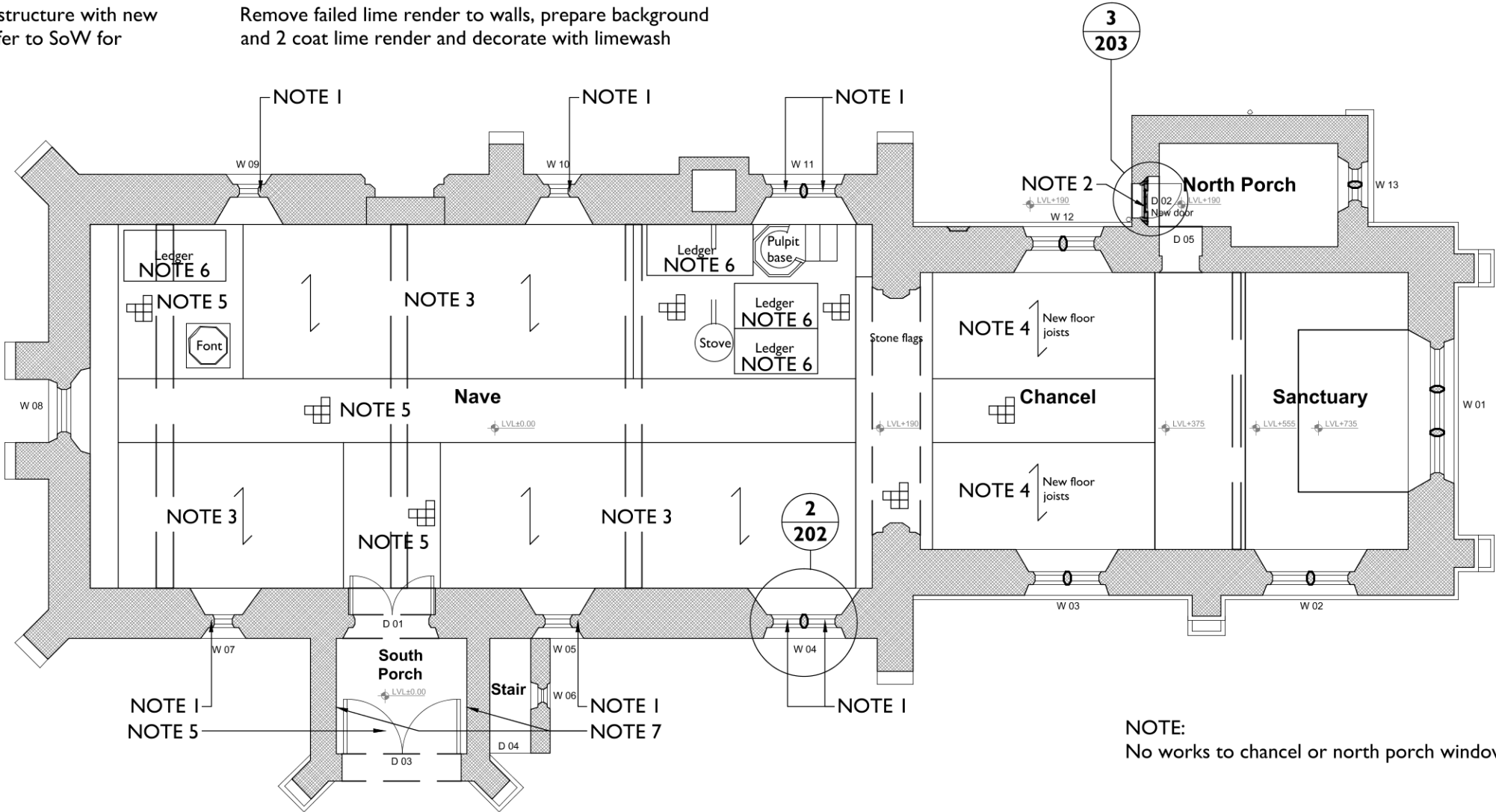


<div>Notes:</div> <div>Drawings are based on survey data and may not accurately represent what is physically present.</div> <div>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</div> <div>All dimensions are in millimeters unless noted otherwise.</div> <div>Purcell shall be notified in writing of any discrepancies.</div>	<div>Notes:</div> <div>Drawing to be read in conjunction with the project specification.</div> <div>Drawing supplied for information only; contractor to check content</div>	<div>First Issue05/04/17CSCS</div>					<div>CLIENT</div> <div>Friends of Friendless Churches</div> <div>PROJECT</div> <div>East Hatley St Denis Church Phase I</div>	<div>DRAWING TITLE</div> <div>Longitudinal Section D As Existing</div>		<div>JOB NUMBER</div> <div>237162</div>	<div></div>
		<div>ISSUE</div> <div>DATE</div> <div>DRAWN</div> <div>CHECKED</div> <div>DESCRIPTION</div>						<div>SIZE &amp; SCALE</div> <div>A3L 1:100 @ A3</div>		<div>DRAWING NO.</div> <div>106</div>	
								<div>DRAWING STATUS</div> <div>ISSUED FOR PLANNING</div>		<div>REVISION</div> <div>-</div>	
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- NOTES
- For localised external masonry, roof and conservation repairs, which are to be undertaken on a like-for-like basis, refer to the SoW
- NOTE 1
- Proposed new leaded light window as typical details on drawing 237162/201
- NOTE 2
- Proposed new door as details on drawing 237162/202
- NOTE 3
- Conservation repair of existing floor structure with new floor boarding and access hatches; refer to SoW for further details/allowances

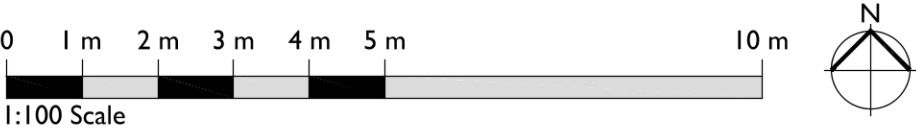
- NOTE 4
- Provide new timber suspended floor structure with new floor boarding
- NOTE 5
- Repair Victorian quarry tiled floor; refer to SoW for further details/allowances, including repair of the substrate
- NOTE 6
- Ledger stones to be conservation cleaned
- NOTE 7
- Remove failed lime render to walls, prepare background and 2 coat lime render and decorate with limewash

- LEGEND
- Direction of existing/proposed floor joists
- Existing Victorian quarry tiled floor finish on mass/solid substrate



NOTE:  
No works to chancel or north porch windows

**1**  
**101** Ground Floor Plan  
as Proposed 1:100 @ A3

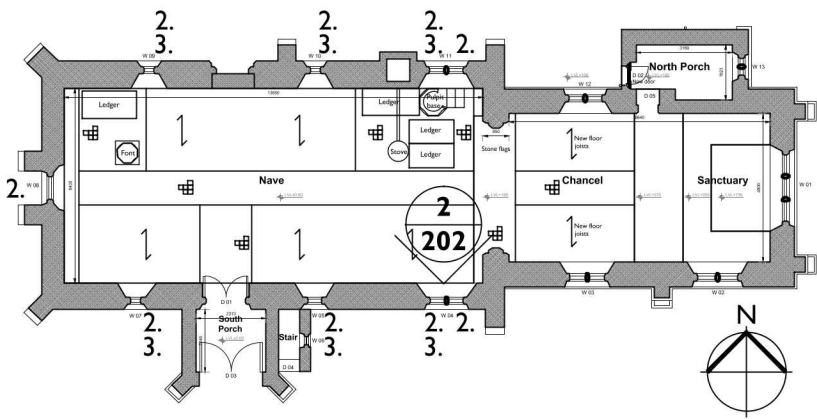


<div>Notes:</div> <div>Drawings are based on survey data and may not accurately represent what is physically present.</div> <div>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</div> <div>All dimensions are in millimeters unless noted otherwise.</div> <div>Purcell shall be notified in writing of any discrepancies.</div>	<div>Notes:</div> <div>Drawing to be read in conjunction with the project specification.</div> <div>SoW = Schedule of works contained within Section 3 of the specification.</div>	<div>First Issue05/04/17CSCS</div>					<div>CLIENT</div> <div>Friends of Friendless Churches</div> <div>PROJECT</div> <div>East Hatley St Denis Church Phase I</div>	<div>DRAWING TITLE</div> <div>Ground Floor Plan As Proposed</div>		<div>JOB NUMBER</div> <div>237162</div>	<div></div> <div>PURCELL</div>
		<div>ISSUE</div> <div>DATE</div> <div>DRAWN</div> <div>CHECKED</div> <div>DESCRIPTION</div>						<div>SIZE &amp; SCALE</div> <div>A3L 1:100 @ A3</div>		<div>DRAWING NO.</div> <div>201</div>	
								<div>DRAWING STATUS</div> <div>ISSUED FOR PLANNING</div>		<div>REVISION</div> <div>-</div>	

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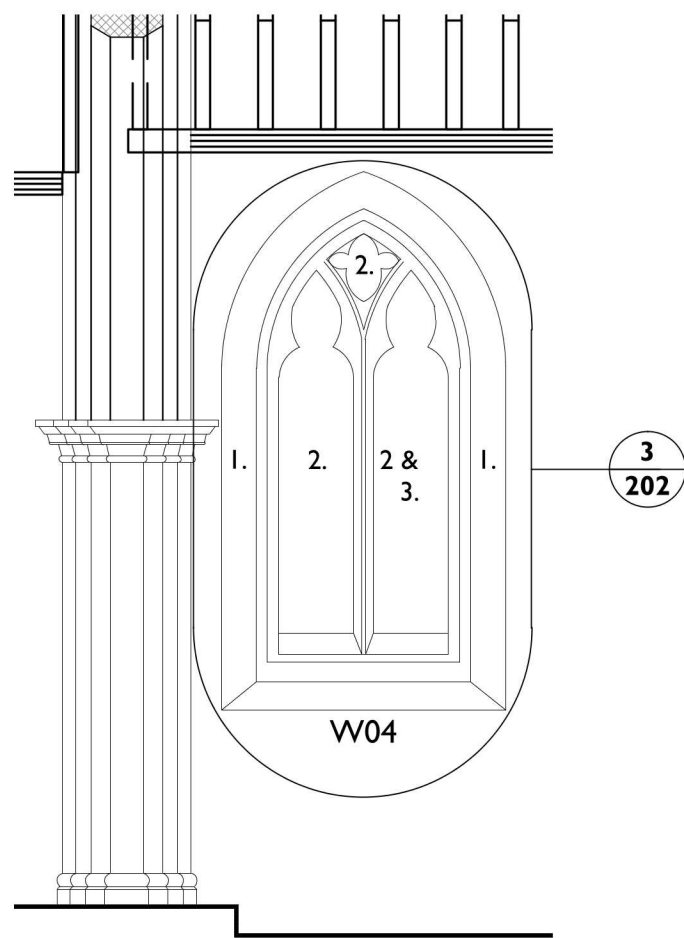
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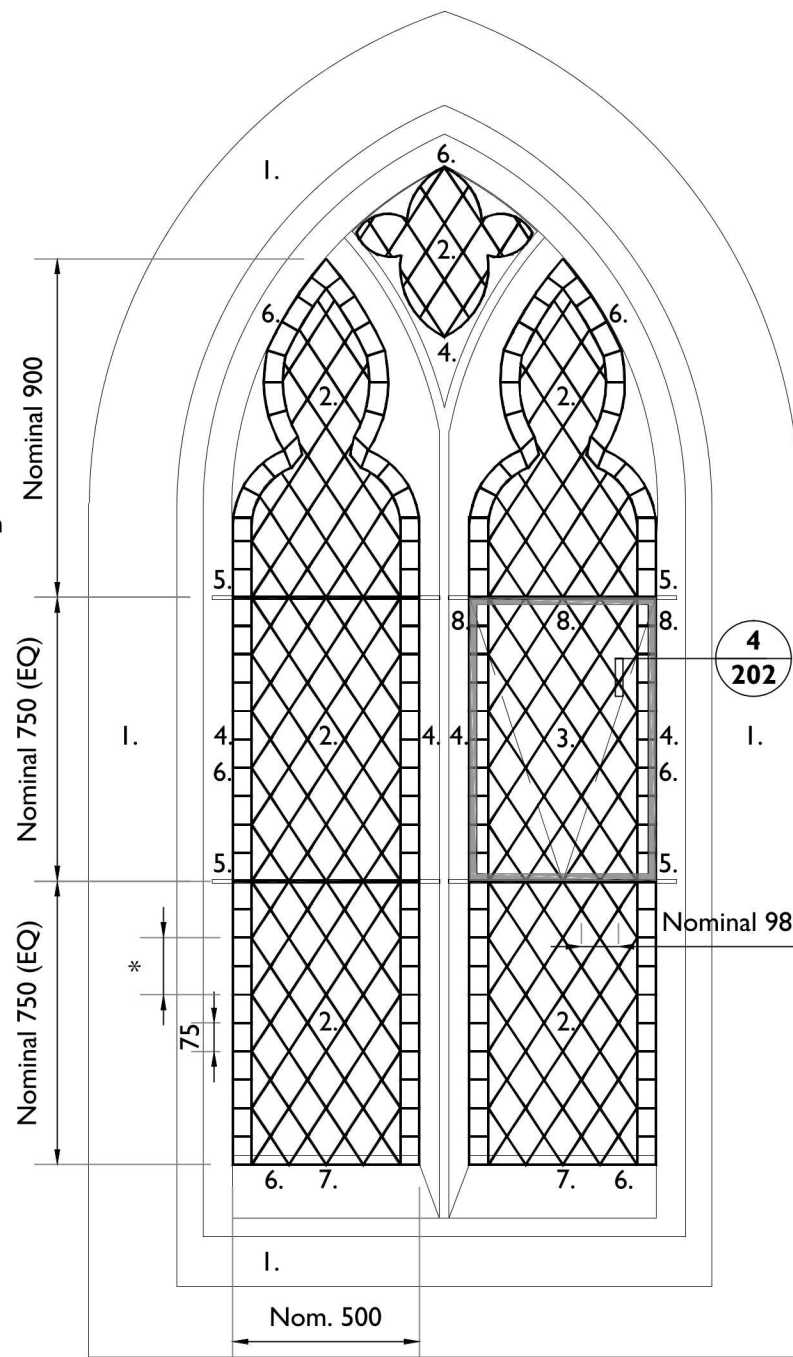


**1**  
**202** **Ground Floor Key Plan**  
**as Existing 1:250 @ A3**

NOTE:  
No works to chancel or north porch windows



**2**  
**202** **Part West Elevation of**  
**North Porch as Proposed 1:50 @ A3**



**3**  
**202** **Typical (Internal) Elevation of 2 Bay**  
**Window as Proposed 1:20 @ A3**

NOTE:

- Internal elevation of window W4.
- Refer to key plan for location of casements
- Contractor to take site dimensions.
- \* Height of perimeter glazing margin set out from height of diamond quarry.
- Specialist glazier to provide workshop drawings of casements for Architects approval.

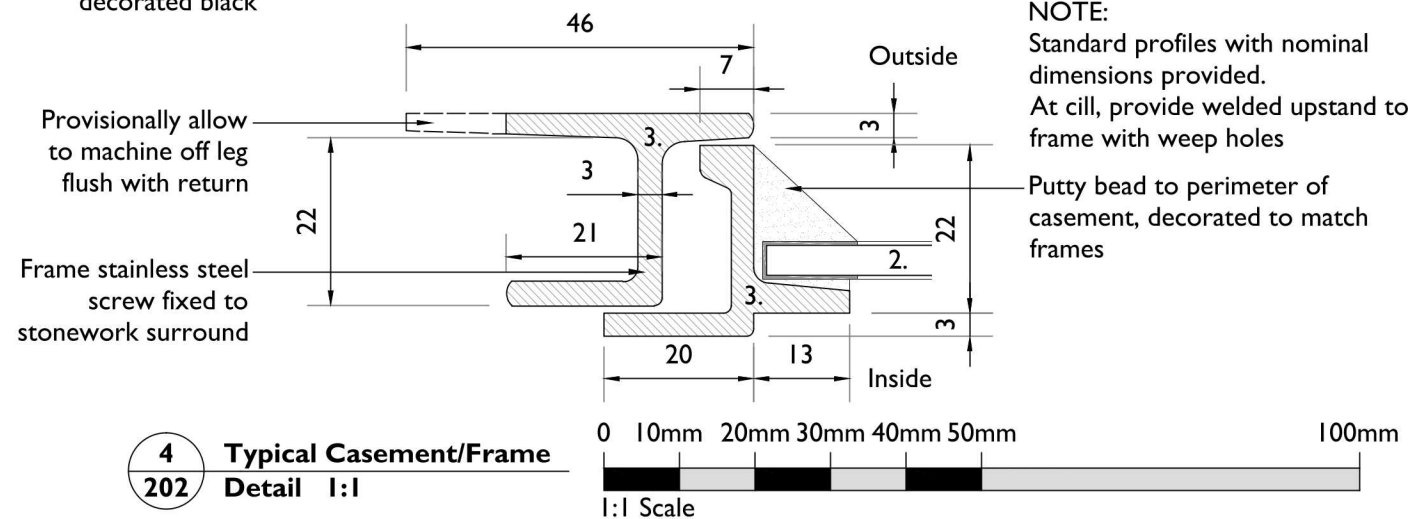
#### LEGEND:

1. Existing stone window surround with temporary security protections; refer elsewhere for scope of repairs
2. New diamond leaded light window with design replicated from Butterfield window at Waresley St. James the Great church; refer to drawing for nominal sizes
3. New metal, inward opening bottom hung hopper casement, finished black with details to closely match existing casements stored within the chancel
4. Prepare stone window surrounds to accept new leaded light glazing
5. New internal stainless steel saddlebar decorated black

6. Internally and externally lime mortar point full perimeter of window to approved lime mortar sample
7. New lead condensate tray to each bay
8. Black Japanned ironmongery (including stays) to new casement

#### NOTE:

To all nave windows upon completion, provide black powder coated external metal guards, fixed between the stonework surrounds, with black Japanned fixings into mortar joints where possible; contractor to template existing window surrounds to achieve a nominal 5mm consistent gap at perimeter abutments

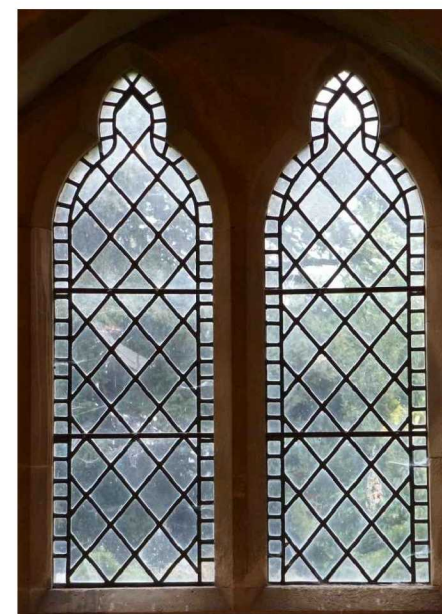


**4**  
**202** **Typical Casement/Frame**  
**Detail 1:1**

#### NOTE:

Standard profiles with nominal dimensions provided. At cill, provide welded upstand to frame with weep holes

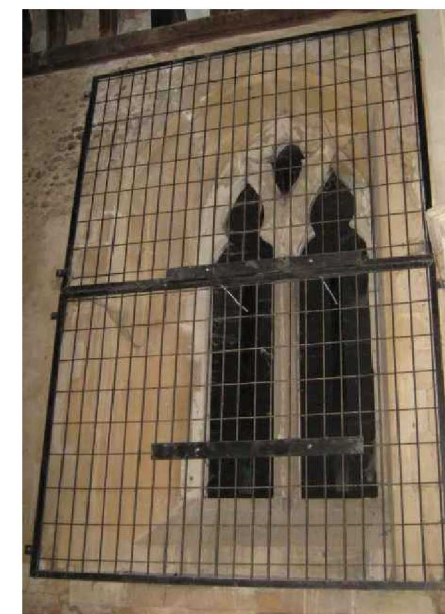
Putty bead to perimeter of casement, decorated to match frames



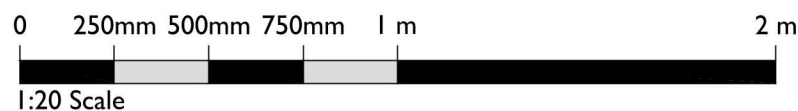
**5**  
**202** **Butterfield Window Design at**  
**Waresley St. James the Great**



**6**  
**202** **Existing Casements Stored**  
**Within the Chancel NTS**



**7**  
**202** **Typical Temporary**  
**Protections to Windows**



**Notes:**

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

**Notes:**

Drawing to be read in conjunction with the project specification. Contractor to take site dimensions and provide workshop drawings for Architects review.

First Issue	05/04/17	CS	CS	
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION

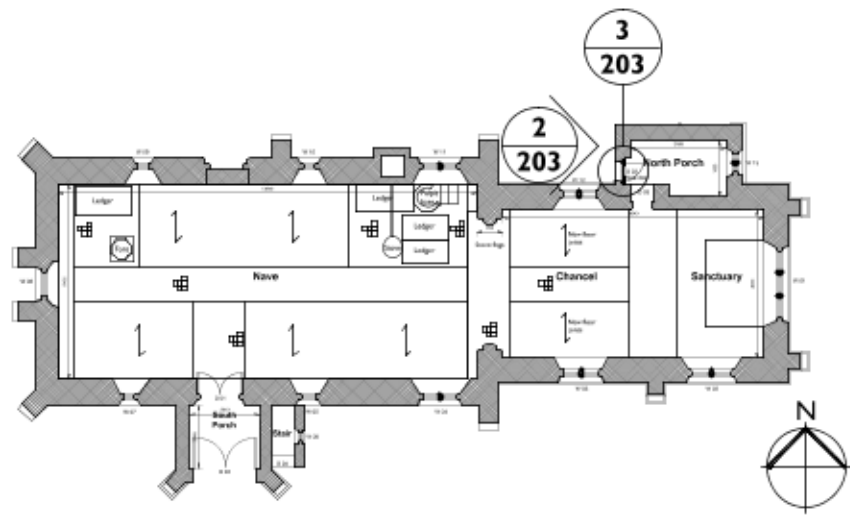
<b>CLIENT</b>	Friends of Friendless Churches
<b>PROJECT</b>	East Hatley St Denis Church Phase I

<b>DRAWING TITLE</b>	Typical Details for Proposed Leaded Windows to Nave
<b>SIZE &amp; SCALE</b>	A3L 1:250, 1:50, 1:20, 1:1 @ A3
<b>DRAWING STATUS</b>	ISSUED FOR PLANNING

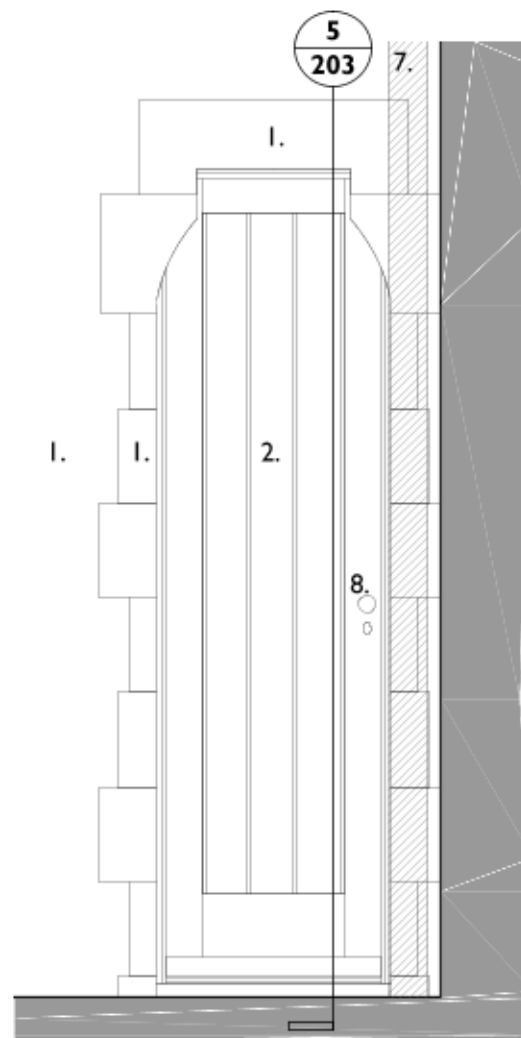
<b>JOB NUMBER</b>	237162
<b>DRAWING NO.</b>	201
<b>REVISION</b>	-



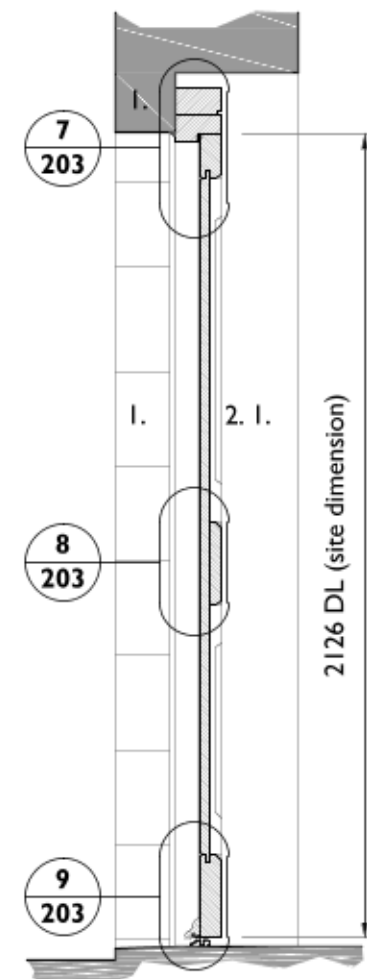




**1**  
**203** Ground Floor Key Plan  
as Existing 1:250 @ A3



**4**  
**203** Elevation of Proposed Door to  
North Porch 1:20 @ A3

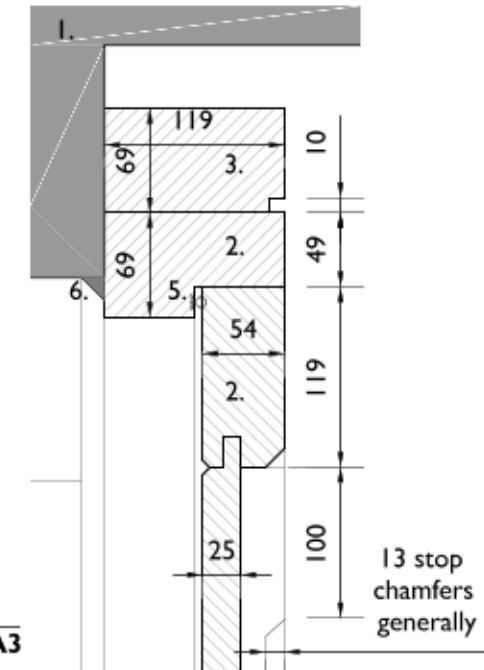


**5**  
**203** Section through Proposed Door  
to North Porch 1:20 @ A3

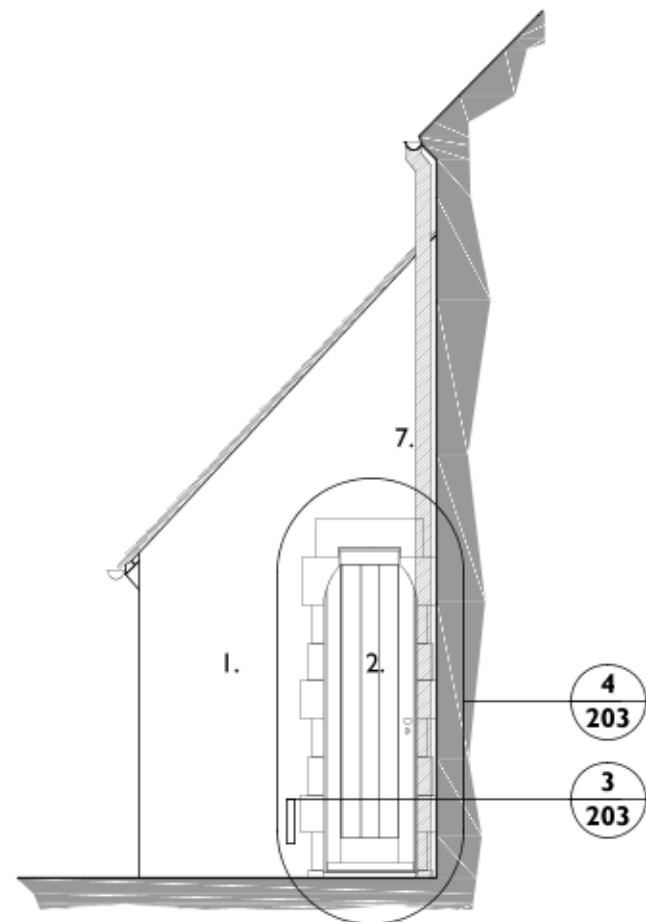
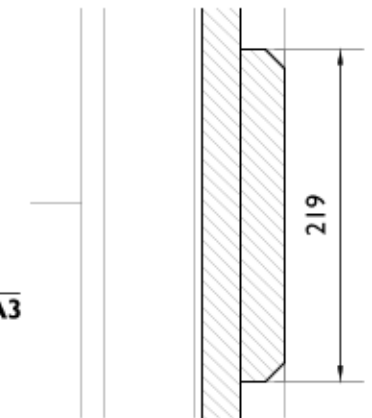
#### LEGEND:

1. Existing masonry structural opening/threshold with temporary security protections; refer elsewhere for scope of repairs
2. New oak door and associated frames, all finished with bees wax; refer to drawing for nominal sizes
3. New oak sub-frame scribed and stainless steel fixed to existing masonry surround
4. Proprietary threshold as Sealmaster Watershed TJS/WCH
5. Proprietary draught seals as Sealmaster Hurricane SFS/016 to perimeter of door
6. Burnt sand mastic pointing with colour to closely match lime pointing
7. Existing rainwater downpipe; no works
8. Black Japanned ironmongery to new door

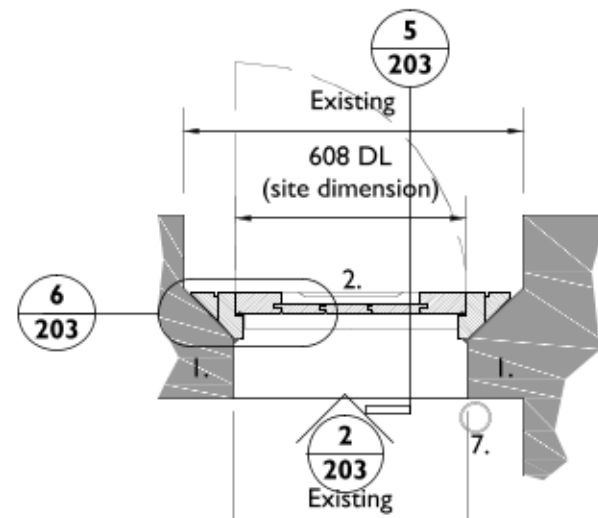
**7**  
**203** Head Detail  
of Proposed Door 1:5 @ A3



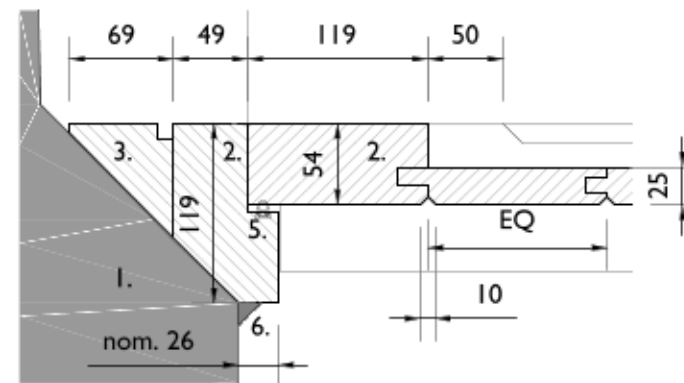
**8**  
**203** Mid Ledge Detail  
of Proposed Door 1:5 @ A3



**2**  
**203** Part West Elevation of  
North Porch as Proposed 1:50 @ A3

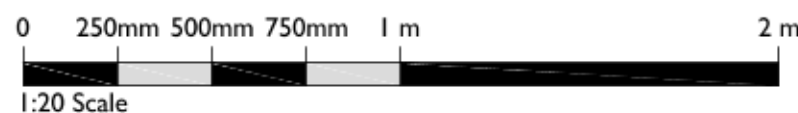
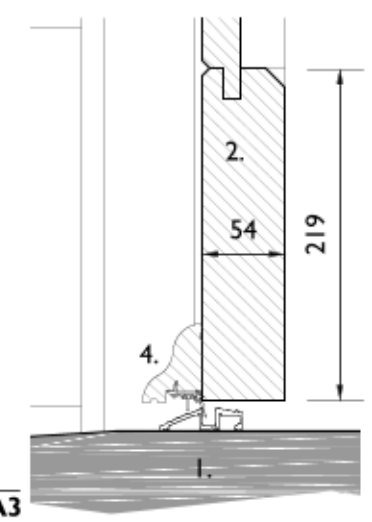


**3**  
**203** Plan of Proposed Door to  
North Porch 1:20 @ A3



**6**  
**203** Typical Jamb Detail  
of Proposed Door 1:5 @ A3

**9**  
**203** Threshold Detail  
of Proposed Door 1:5 @ A3



**Notes:**  
Drawings are based on survey data and may not accurately represent what is physically present.  
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.  
All dimensions are in millimeters unless noted otherwise.  
Purcell shall be notified in writing of any discrepancies.

**Notes:**  
Drawing to be read in conjunction with the project specification.  
Contractor to take site dimensions and provide workshop drawings for Architects review.

First Issue	05/04/17	CS	CS	
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION

**CLIENT** Friends of Friendless Churches  
**PROJECT** East Hatley St Denis Church Phase 1

**DRAWING TITLE** Typical Details for Proposed Door to North Porch  
**SIZE & SCALE** A3L 1:20, 1:5 @ A3  
**DRAWING STATUS** ISSUED FOR PLANNING

**JOB NUMBER** 237162  
**DRAWING NO.** 203  
**REVISION** -

